

Addendum
to
The Farm in Boulder Valley
Design Guidelines

June 23, 1995

Please note the following changes to THE FARM IN BOULDER VALLEY Design Guidelines, as per Section 5.1 of the Declarations of Covenants, Conditions and Restrictions.

1. Landscaping (page 10)

The overall lot landscape budget is set at a *minimum* of 6% of the retail cost of the house and lot. The purpose of this budget is to establish a *minimum* dollar amount to accomplish the objectives of the Design Guidelines, *not* to limit landscape budgets. The landscape budget includes all exterior plant material and irrigation. Paving, fencing, decks, utility extensions and other items are not included in the 6% landscape budget. Half of this 6% budget (3%) will be spent on tree plantings. The value of the landscape will be determined by the actual cost of the landscape to the lot owner.

2. Landscaping (page 10)

The landscaping is intended to integrate the house into both the lot and THE FARM. Trees are to be planted in natural masses and clusters, except where more formal alignments are appropriate, such as along entry drives.

3. Building Form (page 4)

Building massing (shape) must be consistent with the land forms surrounding the lot. THE FARM has a classic prairie setting which includes open distant views and gently rolling land forms. To be consistent with the surrounding nature of THE FARM, homes must not appear vertical and must be integrated into the overall character of Boulder Valley.

4. Sketch Plan Process (page 16)

All homes plans submitted for Sketch Plan review must be accompanied by a scale model of the house and site. The site should be represented by 1' or 2' contours and include all existing plant materials and any other unique features necessary to depict the relationship of the house to the site. The emphasis of the Sketch Plan model should be on the massing, roof line and scale of the structures in relationship to the site. The Sketch Plan model is not intended to show windows, detailing, etc.

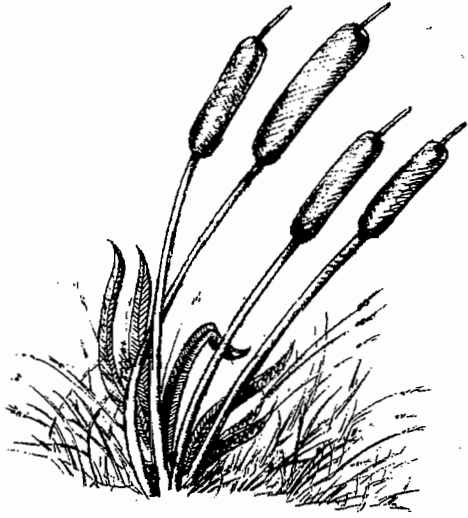
5. Pre-Planning Meeting (page 14)

The homeowner and their architect are encouraged to interact with the Design Review Board in the early stages of the design process to assure that time is not wasted on exploring solutions that ultimately may not be acceptable.

6. Materials (page 6)

The stone requirement in the Design guidelines is intended to help give a sense of permanence and mass to the residence. A minimum of 25% of the exterior elevation of the building (including doors and windows) will be stone as described in the Design Guidelines or comparable stone as approved by the Design Review Board. The stone is to appear as a structural element of the house and *not* like an applied afterthought. If the minimum amount of stone does not accomplish the intention of the Design Guidelines, then additional stone will be required.

The Farm in Boulder Valley Design Guidelines



*"When we build let us think that we
build forever."*

-John Ruskin

THE FARM in BOULDER VALLEY affords a unique opportunity for residential living in Boulder County, Colorado. Because the developed area is a small percentage of the whole development (the residences and access roads comprise only 45 acres of the approximately 700 acres of THE FARM in BOULDER VALLEY), the residential community will continue to have close ties to the agricultural and open space predominating at THE FARM. In addition, the eighteen home sites have been clustered in two areas, each having a distinctly different character, although both are adjacent to either City of Boulder Open Space or portions of THE FARM designated as Open Space. The goal is to maintain a comprehensive development theme while offering two separate living styles based on the unique character of each area.

One of the communities, Avocet Lane, is located on flat or slightly rolling terrain adjacent to the lakes. The surrounding land consists of irrigated meadows used for grazing. Although set back from North 95th Street, the houses will be visible as a group within the context of green irrigated fields, bodies of water and existing vegetation within the Boulder Creek corridor.

Owl's Nest, the other community, is located on a south-sloping hillside above the Boulder Creek corridor and offers excellent views to the west, south and east. The hillside consists of broad expanses of native grasses.



Design Theme

The design philosophy of THE FARM in BOULDER VALLEY is to create a residential development with a rural elegance that complements the character of Boulder Creek and the surrounding agricultural uses.

The architectural theme has been established for individual residences in order to foster compatible designs and create a community which is harmonious with the surrounding natural open space and working agricultural uses. Simple forms and styles consisting of durable materials make a strong statement of quality and longevity. Craftsmanship in construction, as seen in the details of the architecture, will convey elegance and compatibility with the adjacent homes and environment. Details which appear contrived rather than integral to the building form are discouraged. The result will be an understated, elegant community consisting of simple forms, consistent roof lines and compatible materials and colors.

The following design guidelines, combined with the project covenants, are established to aid the lot owners and their architects in designing a home consistent with THE FARM design theme. The guidelines will also provide direction to the Design Review Board (DRB) in their responsibility to establish and maintain the theme. The ultimate result will be a livable community/neighborhood which provides an opportunity for high-quality architecture to enhance property values by preventing incompatible designs.

To accomplish these goals the design guidelines are divided into two categories:

Category I consists of key *required* elements for which there is only modest flexibility.

Category II, on the other hand, allows the individual homeowner a greater opportunity for *design flexibility*. The DRB will allow more personal expression for home and site design in this category.



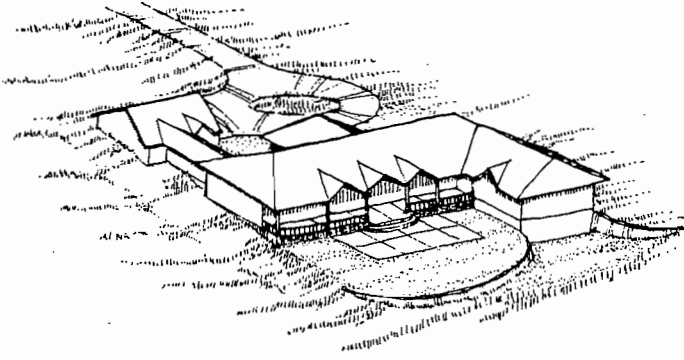
Craftsmanship in Architectural Detailing



Category I Guidelines

Building Form

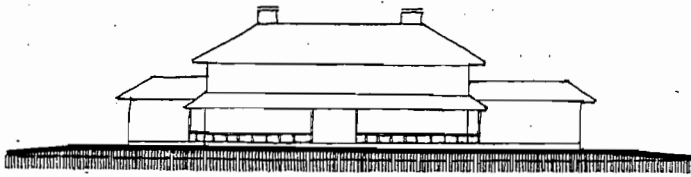
Owl's Nest



Owl's Nest House Form

To preserve the open, gently sloping character of the hillside at Owl's Nest, the building forms will be predominantly low, horizontal forms. The architectural character of the residences can vary as long as the form compliments the terrain and physical location. Owners are encouraged to build down the hillside using walkout levels rather than build vertically. Tall house forms or elements which visually stand out will not be allowed. The south orientation of this parcel will promote the use of solar energy, but the low-profile theme of the area should not be disregarded in order to implement the use of solar energy.

Avocet Lane



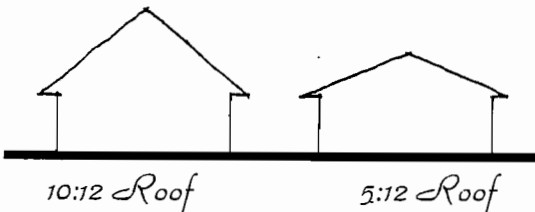
Avocet Lane House Form

Avocet Lane residences will consist of traditional house forms to reflect the flatter, meadow location within the valley. Because of the community's visibility as a whole, it is important for the building form and architectural character of the Avocet Lane residences to be compatible to promote the village concept of this area. Key features include one- and two-story structures, simple roof systems, dormers and attached porches. The result will be a group of residences with the essential characteristics of a rural village.

Roofs

Since roofs are a major visual element, their compatibility is critical for creating a project with a sense of unity. The following are specific roof criteria:

All major roofs shall be either gable or hip with a pitch of a minimum of 5:12 and a maximum of 10:12. Major roofs refer to the



roof structure dominating the residence. Minor roof forms may be gable, hip or shed. Minor roofs will include covered porches, dormers, garages, etc.

Dormers should be relatively small in proportion to the major roof forms and may be gable, hip or shed.

Roof surfaces shall be flat, unglazed, concrete tiles or approved equal. Asphalt, shake or metal roofs are not allowed.

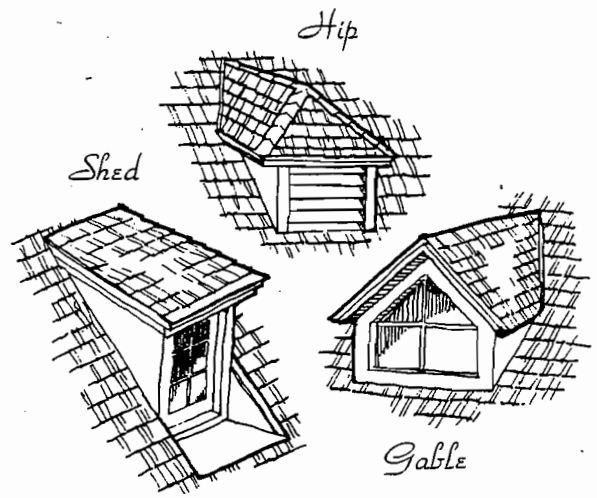
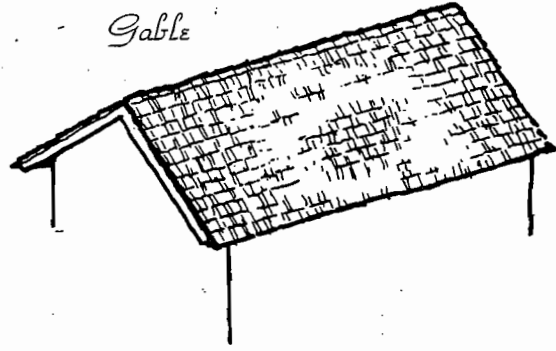
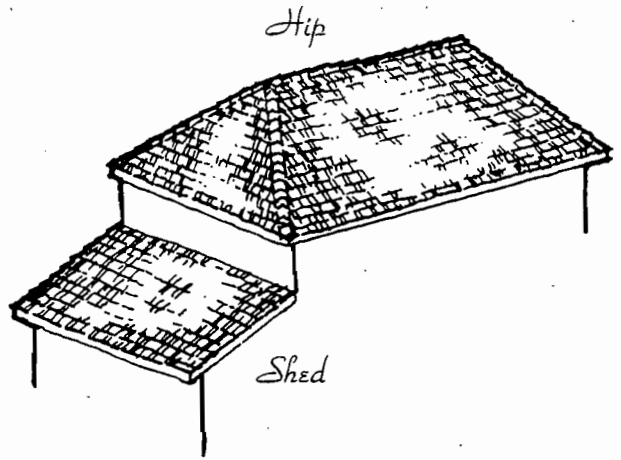
Roof tiles shall be any of the following colors: Moss Rock Green, Burnt Spruce Blue, Shale Gray, and Burnt Moss Rock Green (or approved equal). Samples are located at the sales office. These colors may be mixed in any proportion the homeowner chooses or a single color may be selected.

The color proportions are subject to DRB approval.

Roof overhang shall be in proportion with the scale of the structure (i.e. larger roofs should have larger overhangs). Residences without overhangs will not be allowed.

Exterior Walls

The exterior wall proportions shall be appropriate to the scale of the residence. Houses with extensive areas of unbroken two-story (or greater) walls will not be acceptable. Covered porches are encouraged wherever possible. By breaking up extensive areas of two-story or greater walls, the residences will better conform to the site and individual lots. The height and length of the exterior walls will control the proportions of the residence and whether the structure is properly related to the natural topography of the lot and the adjacent open space. The Owl's Nest setting suggests low and long exterior walls, while the Avocet Lane setting allows a closer proportion between height and length of exterior walls. The other elements of building form discussed above for Avocet Lane and Owl's Nest must be incorporated into the design of the exterior walls.



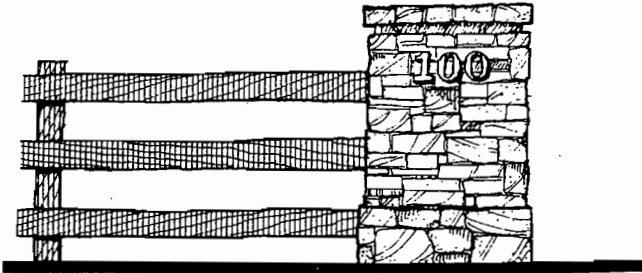
Materials

Natural (or natural looking) wall materials will help create the desired sense of permanence and mass to the residences. For this reason wall materials shall consist of stone, stucco and solid wood siding. Stone shall cover the lower portions of walls, but may extend to the roof line if it is continuous from grade.

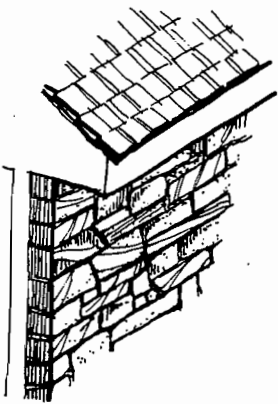
Manufactured siding (i.e. masonite, pressboard, laminated wood, etc.), logs and any form of brick are not allowed.

A minimum of 20% of exterior elevation of the buildings (including doors and windows) shall be stone consisting of the same stone type, colors and installation technique found in the entry columns (see below). In addition to conveying a sense of mass and permanence, the intention of this guideline is to assure there is continuity of a single material to tie together all of the residences and site features. If the homeowner can show that these goals can be accomplished with less stone, then the percentage maybe modified with the approval of the DRB.

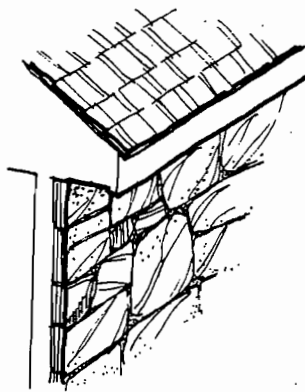
Stone within THE FARM in BOULDER VALLEY shall be sandstones of the following types: Buff, Red, Tuxedo Gray, Powderhorn Gray and Chocolate (or approved equal). Samples are located at the sales office. The purpose of providing a variety of stone colors is to offer the individual homeowner flexibility in color schemes. The stone used by the homeowner must be a mix of the approved stone colors, although the percentage of each stone may be determined by the homeowner. The project entry columns and walls are examples of the preferred color combinations and joint size. The sandstones will be installed in an ashlar or stacked pattern common to Boulder County, with narrow joint and recessed mortar. The appearance of the stone should be structural rather than veneered. A maximum of 8" of foundation may be exposed.



Driveway Entry Column



Structural Stone



VENEER Stone



Doors and Windows

Doors and windows need to reinforce the exterior wall's sense of mass. This can be accomplished by recessing the doors and windows 4" to 6". Windows shall have sills of natural material (stone or wood). In the appropriate locations, such as south facing walls or areas of connection between exterior and interior spaces, larger areas of glass may be accomplished by using windows and doors in combination and through the use of bay windows. The following specific guidelines also apply:

- Maximum single expanse of 24 sq. ft. glass within a single window frame.
- No mirrored or bronze glass will be allowed. All doors and windows shall have divided lights.
- All windows shall be trimmed in wood (vinyl or metal clad is acceptable).
- All exterior doors visible from the road or adjacent properties shall be of natural materials, preferably handcrafted. (No flush mounted metal doors will be allowed if visible from adjacent lots or roads.)
- Garage doors shall not be parallel to Avocet Lane or Owl's Nest and shall not be a major element of the front elevation. Metal garage doors are not acceptable.

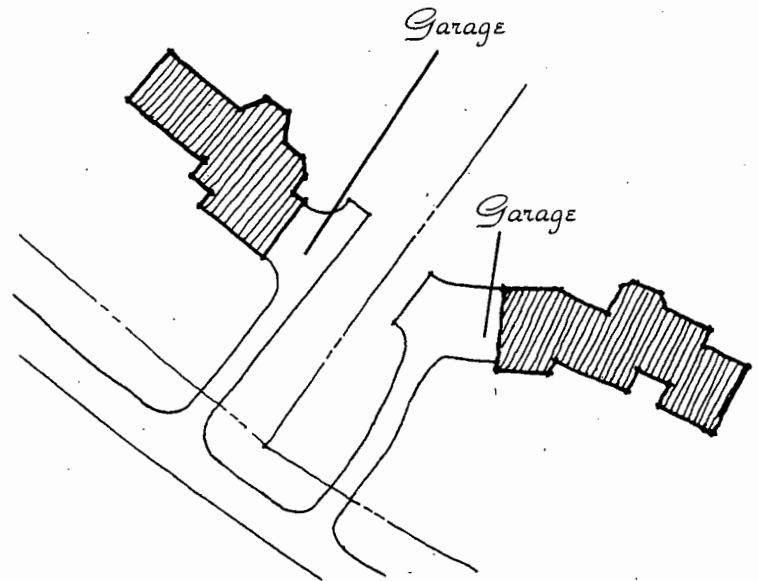


Using Windows and Doors in Groups

Fencing

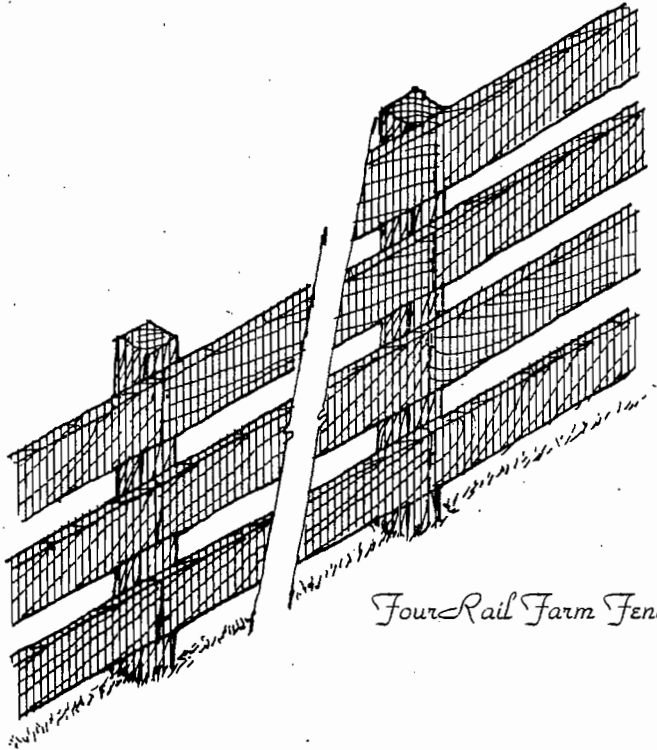
Fencing in most locations within THE FARM is optional (except as required below). If the homeowner does choose to fence portions of his property, the following guidelines must be met.

Fencing other than property line fencing must relate to the architecture of the residence and fit a specific need that cannot be met with plant material (i.e. privacy and screening should be accomplished with plant material wherever possible). The fence materials, color, scale and texture must appear integrated into the overall design of the residence. Metal, plastic or chain link fences shall not be allowed except as described below.



Avocet Lane

- All residences shall install a continuous three-rail wood fence along the Avocet Lane frontage and shall be constructed and painted to match existing FARM fencing (See Three-rail Fencing Detail). Required Avocet Lane fencing must be completed prior to occupancy.
- If the homeowner desires property line fencing between lots, it shall be four-rail wood fencing to match the standard FARM fencing (See Four-Rail Fencing Detail). Lots adjacent to the lakes in Outlot "G" shall not fence the property line adjacent to the lake.
- Chain link fencing is only allowed around tennis courts and pools and shall be black vinyl clad. Fencing for tennis courts and pools must be approved by the DRB.



Four Rail Farm Fence

Three Rail Fence

Owl's Nest

- All lots with frontage on Owl's Nest shall install a continuous three-rail wood fence along the Owl's Nest outlot. The fencing shall be constructed and painted to match existing FARM fencing. (See Three-rail Fencing Detail) Owl's Nest fencing must be completed prior to occupancy.
- Fencing of the active use areas of the individual lots is encouraged and shall match the four-rail black FARM fencing. This would include the driveway and active use areas adjacent to the residence. Fencing of side property lines is discouraged. Any side property line fencing must be approved by the DRB.
- Chain link fencing is only allowed around tennis courts and pools and shall be black vinyl clad. Fencing for tennis courts and pools must be approved by the DRB.



Entry Columns

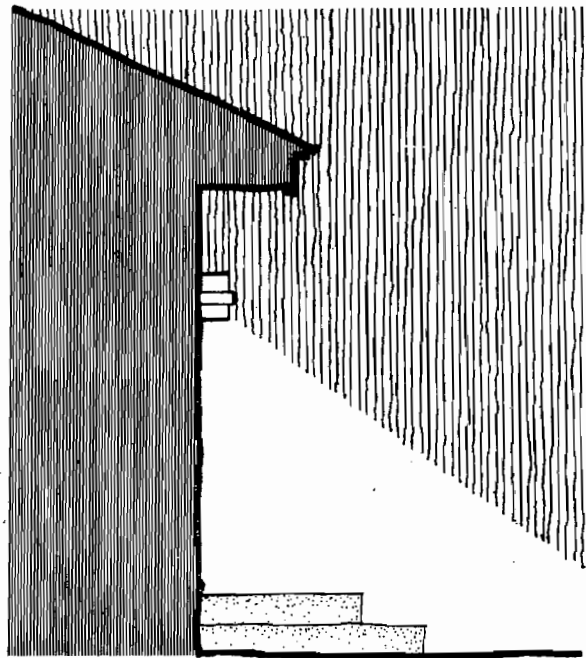
Each lot owner (both Owl's Nest and Avocet Lane) shall install two columns adjacent to the driveway at the property line. The column will be made of the identical stone mix found in the entry columns. These columns shall match the form and proportions of the columns located at the project entries and include the property address and lighting. Columns shall be constructed as per Entry Column Detail. Entry column must be completed prior to occupancy.

Lighting

Because of the project's rural setting, the exterior lighting incorporated in each residence must avoid impact on adjacent lots and the surrounding area. The intention is for the development to blend in with the existing character of the agricultural uses by not creating a brightly lit complex contrasting with the adjacent open space and agricultural land.

The following guidelines are to reduce the amount of light pollution generated by this project and maintain the rural ambiance.

- All exterior lighting shall be sharp cut-off design so the light source is not visible from adjacent property owners or Avocet Lane and Owl's Nest.
- All exterior lighting fixtures shall be integrated into the architectural design of the individual residences and constructed of non-reflective materials compatible with the approved project colors.
- Direct source lighting is discouraged (i.e. the actual light bulb is visible), where direct source lighting is desired by the homeowners only low voltage fixtures are acceptable.
- See landscape section concerning landscape lighting.



Sharp Cut-Off Lights



Colors

All building colors shall conform to THE FARM in BOULDER VALLEY color palette (available in the sales office). The building colors are based on the color and tone found in the BVF stone. Accent colors used on trim, doors, window frames and mullions, etc. may be selected by the individual homeowner and shall be submitted to the DRB for approval.

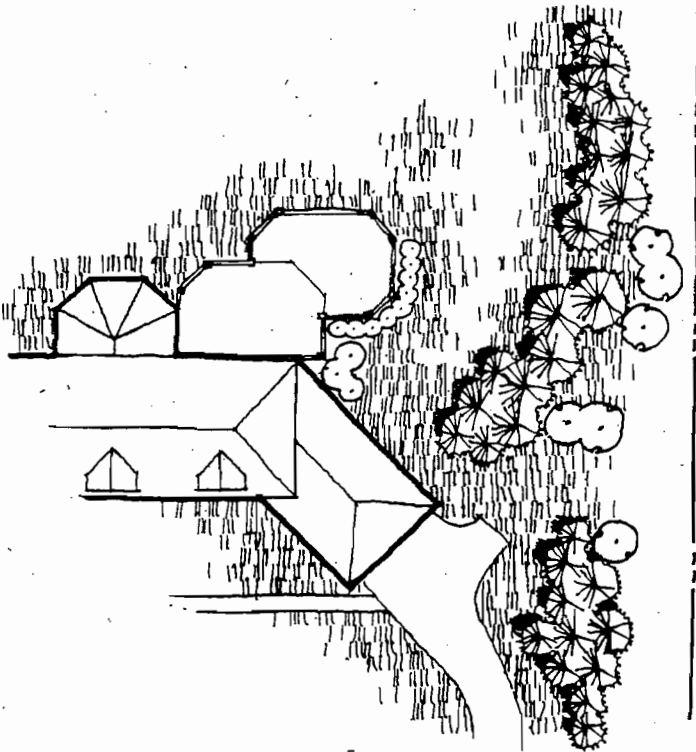
Category II Guidelines

Category II consists of design elements allowing the homeowners a greater opportunity for design flexibility. DRB will allow more personal expression for elements in this category.

Landscaping

The landscape in the common areas represents an excellent example of the character of plantings appropriate for THE FARM. Each lot owner shall landscape the site to complement and enhance common area plantings. The individual landscape design shall be compatible with the overall project design themes and adjacent landscape design. The landscape shall help blend architecture into the site by using plant material appropriate for the setting and environmental conditions.

- The tree planting budget shall be a minimum of 2.5% of house and lot cost and the overall landscape budget shall be a minimum of 5% of the house and lot cost.
- The owner shall submit the landscaping deposit as per Section 4.19 of the Covenants.

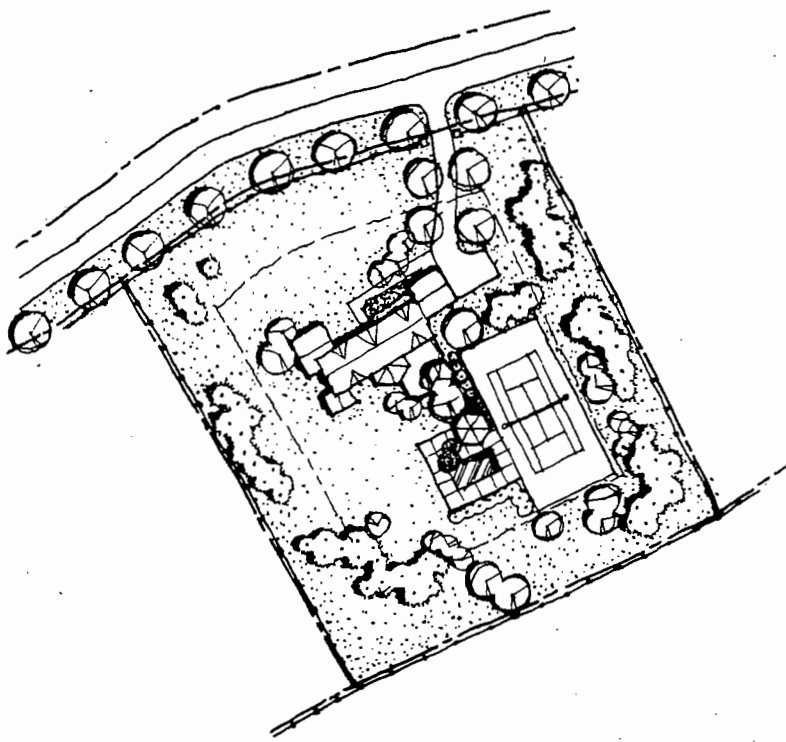


Landscape Screen

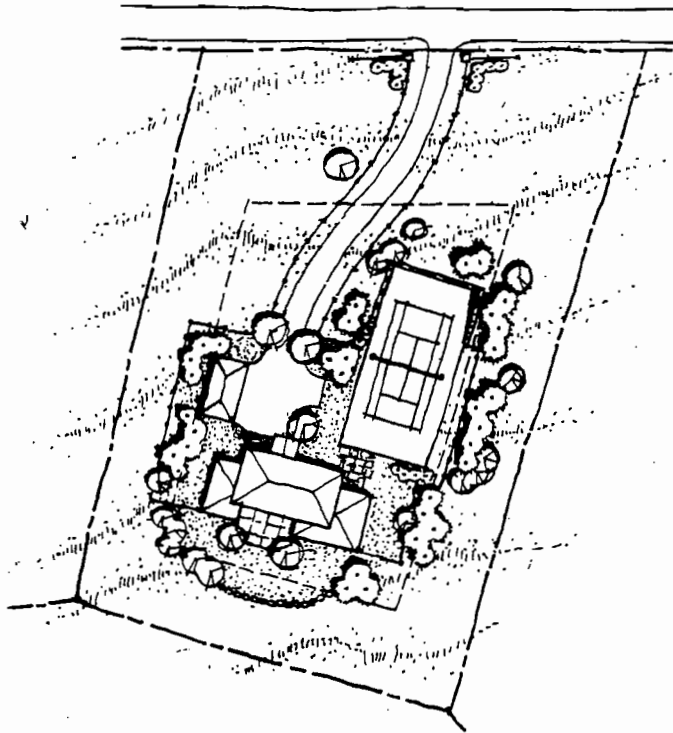


- The appendix contains a list of approved plant materials specific to each area of THE FARM in BOULDER VALLEY. It is recommended that homeowners select the majority of plant material from this list; however, this is not intended to reduce the use of other types of plants. Plant selections will be approved by the DRB.
- Landscaping is the preferred method for screening undesirable areas and providing privacy for decks and yards. These plantings must compliment the overall theme and character of the project.
- Homeowners shall maintain all plant material as long as they own the property. Any plant material appearing dead, diseased or damaged must be replaced within one growing season.
- Irrigation systems shall be included in all landscape designs to promote efficient water use and assure the ongoing maintenance of plant material.
- Any area disturbed during the construction process shall be revegetated within 60 days of completion of site work.
- Homeowners are encouraged to include landscape lighting within their property. Up lighting of plant material is encouraged. All landscape lighting sources must not be visible from adjacent properties or roads. Globe lights will not be allowed.





Avocet Landscape Character



Owl's Nest Landscape Character

Avocet Lane

Because of the abundance of water, this portion of THE FARM in BOULDER VALLEY is a unique opportunity for an irrigated landscape. Large sodded areas and shade tree plantings along property lines and driveways are consistent with the adjacent meadow and similar to the entry plantings.

Owl's Nest

Owl's Nest landscape shall minimize the impact on the hillside by locating the irrigated landscape adjacent to the house and by using a more natural landscape in low-use areas. By limiting irrigated grass to high-use areas adjacent to the house, and regrading these areas to a slope less than the surrounding terrain, the visibility of the irrigated areas will be reduced. This will create a livable outdoor environment adjacent to the residence and allow the separation between residences to be consistent with the existing site and surrounding area.

The edges between irrigated and natural landscapes shall be defined with natural materials such as shrub or perennial plantings, low fences or walls or grade changes. Edge transitions are recommended not to be left to a line of cut and uncut grass.

To help the homes blend in to the hillside, tree plantings delineating property lines will not be allowed. Groupings of trees within the natural landscape will be allowed upon DRB review.

Land Forms and Grading

Both Avocet Lane and the Owl's Nest are planned to reduce the amount of grading to maintain the integrity of the existing landforms. Wherever possible, the homeowners shall locate residences and accessory structures to avoid or limit any changes to the existing land forms. Any grading changes required shall match the



existing grades in percentage of slope and transition between slope changes.

If areas for septic systems require grade changes, the resulting changes shall be integrated into the site to appear natural. Unnatural, steeply sided mounds shall not be allowed.

Drainage

Drainage within individual lots shall be the responsibility of the homeowners and any grading associated with drainage must adhere to the above section on grading. Where driveways must cross a ditch, the homeowner shall install the appropriately sized pipe to maintain the capacity of the ditch. Headwalls for the pipe shall be constructed of the stone identical to the entry columns and the outlot columns.

View Corridors

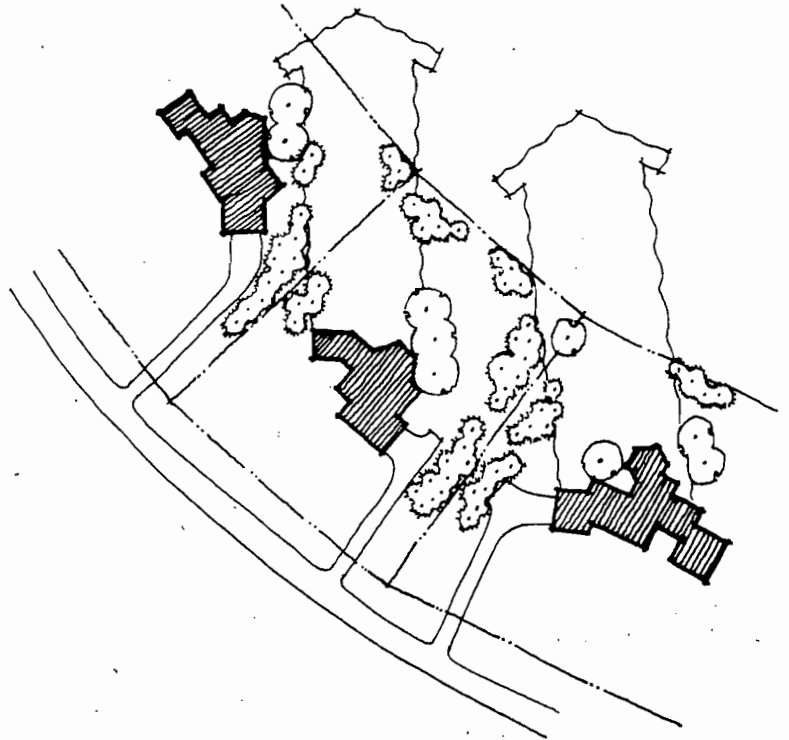
The individual lots have been located to optimize views from each lot. When locating any structures or landscape within the lots, the homeowners must take into consideration the views of adjacent lots. The DRB will review each development proposal within THE FARM in BOULDER VALLEY to assure that views have been optimized.

Play Equipment

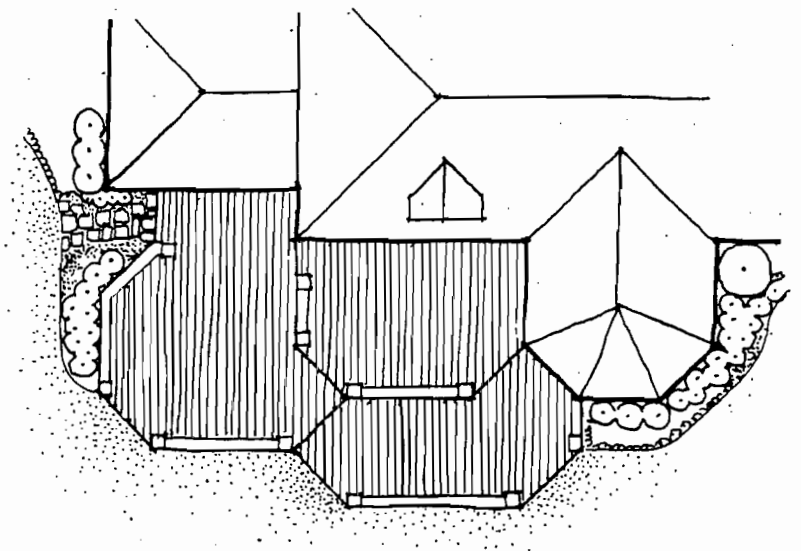
Play equipment shall be located close to the residence to reduce visual and noise impact on adjacent property owners and common areas. Highly reflective materials are prohibited.

Decks

Deck design, materials and colors shall be integral to the overall residence design. Decks shall be adjacent to the residence and contiguous with at least two exterior walls. Free-standing decks will not be allowed unless they are adequately integrated into the site. Extensive upper level decks are discouraged.



Preserving View Corridors



Integrating Decks With The Architecture



Pre-Planning Meeting

The pre-planning meeting is an opportunity for the owner or perspective owner and his architect to meet with the DRB to discuss the Design Guidelines, Design Review and Development Process, and general requirements for construction within THE FARM. Because of the complexity of building a residence and the wide variety of personal tastes, the Design Guidelines have been prepared to allow as much flexibility as possible and still maintain adequate control to assure positive effects on property values within the community. The pre-planning meeting is an opportunity for the owner to gain a clear understanding of the key elements of the design review, discuss ideas and concepts for their residence and maintain the highest level of flexibility and creativity in design.

The pre-planning meeting can be arranged to occur in a timely fashion by contacting:

Winston Associates, Inc.
ATTN: Bob Perletz
1320 Pearl Street, Suite 204
Boulder, CO 80302
303-440-9200

Countryside Management Corporation
ATT: Donald Culver
7490 Clubhouse Road Suite 201
Boulder, Colorado 80301
303-530-0700



Governing Regulations

All development within Blocks 1 and 6 of THE FARM in BOULDER VALLEY shall conform with the following regulations. We recommend all homeowners and their representatives become familiar with the regulations prior to proceeding with the development process.

- THE FARM in BOULDER VALLEY Design Guidelines
- Declaration of Covenants, Conditions and Restriction of THE FARM in BOULDER VALLEY N.U.P.U.D.
- Subdivision Agreement/Development Agreement relating to Subdivider Obligations in THE FARM in BOULDER VALLEY
- Boulder County Land Use Regulations
- Boulder County Building Code
- All other appropriate County, State and Federal regulations

If any of the appropriate regulations are updated or revised in any way, the most current version applies.



Design Review and Development Process

The Design Review and Development Process must be completed for any of the following:

- Construction of any new structure
- The renovation, expansion or significant change to the exterior of an existing structure
- Major changes to the landscape, driveways or any other exterior features

Included in these Design Guidelines are checklists to help the homeowner or their agent in preparing documents for DRB review. The following descriptions of each phase of the review and the checklists are intended to be comprehensive, however the DRB can, at their discretion, request additional information.

Step One - Sketch Plan

The Sketch Plan shall convey to the DRB how the proposed residence and associated site development will adhere to THE FARM in BOULDER VALLEY Design Theme. It will include a site plan, floor plans, building elevations, roof design, preliminary details, conceptual landscape plan, septic system location, grading, drainage, descriptions of materials and any other drawings, models, renderings, computer simulations the owner believes will display how the proposed residence and site design will compliment and enhance the project design theme.

The owner shall submit two copies of all Sketch Plan materials (as described in the checklist except models) to the DRB. The DRB shall respond to the Sketch Plan, in writing, within 30 days of receipt of the completed package. The DRB response will identify any areas of deficiency and items needed to be resubmitted or may be included in the Final Plan submittal. The owner can, at his own discretion, resubmit the portions of the Sketch Plan identified as deficient. This action will help reduce the possibility of the owner proceeding with the more detailed next step of the residence design without DRB approval.

Step Two - Final Plan

The Final plan shall represent the final design and construction documents for the project. The Final Plans shall include all of the items described in the Sketch Plan and all of the information necessary to construct the project. At the DRB's discretion, the owner may be asked to prepare a sample panel of the exterior of the residence for the DRB review prior to approval.

The owner shall submit two copies of all Final Plan documents. The DRB shall respond in writing to the Final Plan within 30 days of receipt of the completed package. The DRB response will identify any areas of deficiency that can be revised without a complete resubmittal of the project.

The homeowner shall respond within 30 days to comments or requests of the DRB.

The DRB shall have the right to inspect the property prior to, during and within 14 days of the completion of a residence and site to ascertain the accuracy of the representation of the Final Plans. Any significant changes to the Final Plans shall be subject to DRB review. The DRB shall have the right to require the owner to change any portion of the site or residence that is inconsistent with the approved plans.



Construction Regulations

1. *PERMITS*
No construction shall start until the Final Plan is approved by the DRB and the appropriate permits are issued by Boulder County.
2. *STAGING AREAS*
All construction staging shall occur within the lot approved for construction.
3. *PROTECTION*
The homeowner shall be responsible for any damage occurring in lots, outlots and roads within THE FARM in BOULDER VALLEY.
4. *TRASH*
Trash and all construction debris shall be kept in appropriate containers and removed regularly from the site. The owner shall be responsible for any trash or debris blown off the approved lot.
5. *CLEAN-UP DEPOSIT*
The owner shall provide the DRB a \$1,500 deposit to assure proper clean-up of the site. If the owner fails to clean-up all construction trash and debris within 30 days of receiving the Certificate of Occupancy, the DRB is authorized to use the clean-up deposit to proceed with the clean up.
6. *NOISE*
The owner will make all reasonable efforts to reduce or eliminate construction noise. No construction operation will be allowed between 7 P.M. and 7 A.M. without the agreement of adjacent homeowners.



Sketch Plan Review Checklist:

Two copies of all necessary materials for the Sketch Plan Review must be submitted to the DRB. The DRB can only approve a sketch plan submittal when each of the items listed below have been submitted and approved.

Not all of the requirements of the Covenants and Design Guidelines can be listed. It is the responsibility of the Owner, or his authorized agent(s), to insure that the design and construction of any residence in THE FARM in BOULDER VALLEY conforms with the requirements of the applicable regulations, covenants and design guidelines. Any variance from the Covenants and Design Guidelines must be specifically requested by the applicant and specifically noted on the plans. Attach a copy of any variance request to this application.

- Summary of square footage
- Statement of stone area and stone area calculations
- Survey
- Soil investigation and foundation recommendation

SITE PLAN (scale: 1" = 20' or 1" = 16') to include:

- Property boundaries
- Building envelope and easements
- Building, driveway and walk locations
- Existing and proposed grading at 2' contours
- Proposed utility routing
- Service areas
- All other site improvements
- Enclosed/integrated trash storage area
- Adequate parking spaces provided



LANDSCAPE PLAN (same scale as Site Plan)

- Existing trees and vegetation
- Protection for existing trees and vegetation
- General groupings of proposed evergreen and deciduous trees
- General areas of proposed ground cover (sod, flower beds, etc.)
- Temporary erosion control methods
- Surface water control methods and locations (i.e. filters, ponds stabilization materials)

BUILDING PLANS (scale 1/16" = 1' or 1/8" = 1' or 1/4" = 1')

- Floor plans
- All exterior elevations
- Roof pitch
- Exterior materials
- Uninterrupted glass areas
- Window recess

I hereby certify that all information on this list has been provided to the Design Review Board.

OWNER/DATE

DESIGN REVIEW BOARD/DATE

ARCHITECT/DATE



Final Plan Review Checklist:

Two copies of all necessary materials for the Final Plan Review must be submitted to the DRB. The DRB can only approve a final plan submittal when each of the items listed below has been submitted and approved.

GENERAL

- Landscape deposit
- Clean-up deposit
- Summary of square footage
- Statement of stone area and stone area calculations

SITE PLAN (scale: 1" = 20' or 1" = 16')

- Property boundaries
- Easements and setbacks
- Existing and proposed contours at two foot intervals
- Building footprints
- Transformers
- Fire hydrants
- Service lines for water, sewer, gas, telephone, cable TV and electric
- Proposed walks, driveways, decks, pools, tennis courts and patios
- Materials to be utilized for construction of roads, walks, driveways, decks, pools, tennis courts and patios.
- Surface drainage
- Finished floor elevations



LANDSCAPE PLAN (same scale as Site Plan)

- Extent and location of all plant materials and landscape features, ponds and streams
- Plant schedule identifying material by scientific nomenclature, quantity, size and root system treatment
- Proposed treatment of all ground surfaces (turf, groundcover, mulch, pavers, etc.)
- Extent of turf areas to be mowed and irrigated
- Existing plant materials and natural site features (i.e. creeks) which are to remain on site
- Proposed seed mixes and rate
- Lighting location type and wattage
- Revegetation treatment
- Details of special features such as fencing, landscape screening, etc.
- Seed, mulch, fertilization rates and types

IRRIGATION PLAN (same scale as Site Plan)

- Location of all pipe, heads, valves, and controllers
- Locations and descriptions of connection to building plumbing
- Location of critical landscape elements (delineation of sod areas, planting beds, walkways, screening, etc.)

BUILDING PLANS (scale: 1/4" = 1')

- Exterior elevations showing finished grade, materials, windows, doors, colors, finishes, and shadow patterns
- Building sections showing finished floor, finished grade, decks, patios and any other pertinent information
- Window and door type, size and location
- Exterior hardware and lighting fixture cut sheets



- Roof material
- Primary roof pitch
- Secondary roof pitch
- Window recess details
- Maximum uninterrupted glass area
- Trash and utility enclosures
- Enclosed/integrated trash storage area
- Exterior material samples and colors for roofing, stucco, siding, exterior trim and rock
- Trim details

Note: After final plan approval has been obtained, no change from approved plans which affects the exterior of the building(s), landscaping or other improvements, number of units or fireplaces or exterior lighting can be made without the review and written approval of the Design Review Board.

I hereby certify that all information on this list has been provided to the Design Review Board.

OWNER/DATE

DESIGN REVIEW BOARD/DATE

ARCHITECT/DATE

